



Foresthill
**COMMUNITY
DESIGN GUIDELINES**

FEBRUARY 2002

C R E D I T S

Board of Supervisors

Rex Bloomfield - District 5 (includes Foresthill Divide)

Bill Santucci - District 1

Robert Weygandt - District 2

Harriet White - District 3

Ted Gaines - District 4

Planning Commission:

District 1 - Noe O. Fierros

District 2 - Ken Denio

District 3 - Jim Forman

District 4 - Mike Stafford

District 5 - Judy Creek (includes Foresthill Divide area)

At-Large - Larry Sevison

At Large - Gerry Brentnall

Foresthill Forum:

Stan Standard - Chairman

Sharon Page

Larry Mobley

Larry Jordan

Brian Connally

Jeri Clark

John Davis

FDCP Consultants:

Quad Knopf - Project Management/EIR

Roberta MacGlashan

Mogavero Notestine Associates - Community

Design/Design Guidelines

Mike Notestine

Foresthill Divide Community Plan Team:

Ann Davis - Chair

Bret Finning

John Chilcote (deceased)

Cathy Spence-Wells

Sherri Osborn

Peggy Wilson (resigned 2001)

John Worton

FDCP Team Community Design Subcommittee:

Bret Finning

John Davis

Steve Fuhrman

Placer County Planning Department:

Fred Yeager, Director of Planning

Dean Prigmore, Assistant Director of Planning/FDCP

Project Manager

Mike Wells, Associate Planner



C O N T E N T S

Introduction and Purpose	1
Applicability	2
Historic Downtown Mixed Use Area	2
Mill Site Mixed Use Area	5
Canyon Mixed Use Area	5
Design Character	6
Materials	12
Site Planning	14
Pedestrian Connections	15
Views	16
Landscaping	17
Roofs	20
Parking	21
Utilities and Lighting	23
Signs	25
Crime Prevention through Design	28
Historic Preservation	29



FORESTHILL DESIGN GUIDELINES

Public Review Draft - 2/5/02

I. Introduction and Purpose

These guidelines are an important long term tool to help implement the Foresthill Divide Community Plan that was conceived by many members of the Foresthill Divide Community through a survey and a series of community workshops and community meetings. The intent of these guidelines is to preserve the important assets of Foresthill's historic built environment and guide future design to create buildings worth preserving.

Everyone benefits from good community-minded design that is vital, person-oriented, aesthetically pleasing and safe for everyone. Benefits include:

- Improving/protecting property values
- Maintaining or upgrading the "vitality" of a place (e.g., commercial viability)
- Improving the quality of life
- Preserving and enhancing a historic and quaint place
- Making a comfortable and safe environment for pedestrians
- Making change more acceptable
- Making new development compatible or unified

The guidelines have attempted to articulate some community values as they relate to the built world. Like any good community, it is important that there be an openness to historic context and styles. For this reason, they do encourage design that is consistent with mountain architecture and gold rush prototypes. The intent of these design guidelines is to prevent bad design and encourage good design.

The Foresthill Divide has a rich and eclectic collection of architecture. It is hoped that these guidelines, will help to encourage important dialogue between tradition and innovation for a long time to come.



II. Applicability

These guidelines apply to all projects -- including new construction, rehabilitation and signs -- located in the core area (all three mixed use areas), as well as, to commercial, industrial and residential development elsewhere in the Divide that carries a Design Historic (Dh) or Design Corridor (Dc) zoning designation. They have been developed to supplement the existing Placer County Design Guidelines Manual and the Historic Design Guide, Placer County. Where there is conflict between the existing ordinances and these guidelines, these guidelines shall govern.

It is intended that the design guidelines will become an integral part of the design review process in Foresthill, and that the application of the standards contained in this document will lead to a consistency in design quality and in determining compliance with the community's design principles. Given the qualitative and evolving nature of design, the ultimate determination of compliance with these design guidelines lies with the Foresthill Forum's Design Review Committee and the Placer County Design/Site Review Committee. The Planning Commission may also use this document in determining the compatibility of permitted and conditionally permitted uses.

As guidelines, this document will not regulate with the same rigidity as an ordinance. Rather, it will indicate the County's intent regarding the various components of design.

The nature of the existing development pattern and natural terrain will require a measure of flexibility in the design review process for new development and revitalization in Foresthill. This is especially true in the Historic Downtown and Canyon Mixed Use Areas.

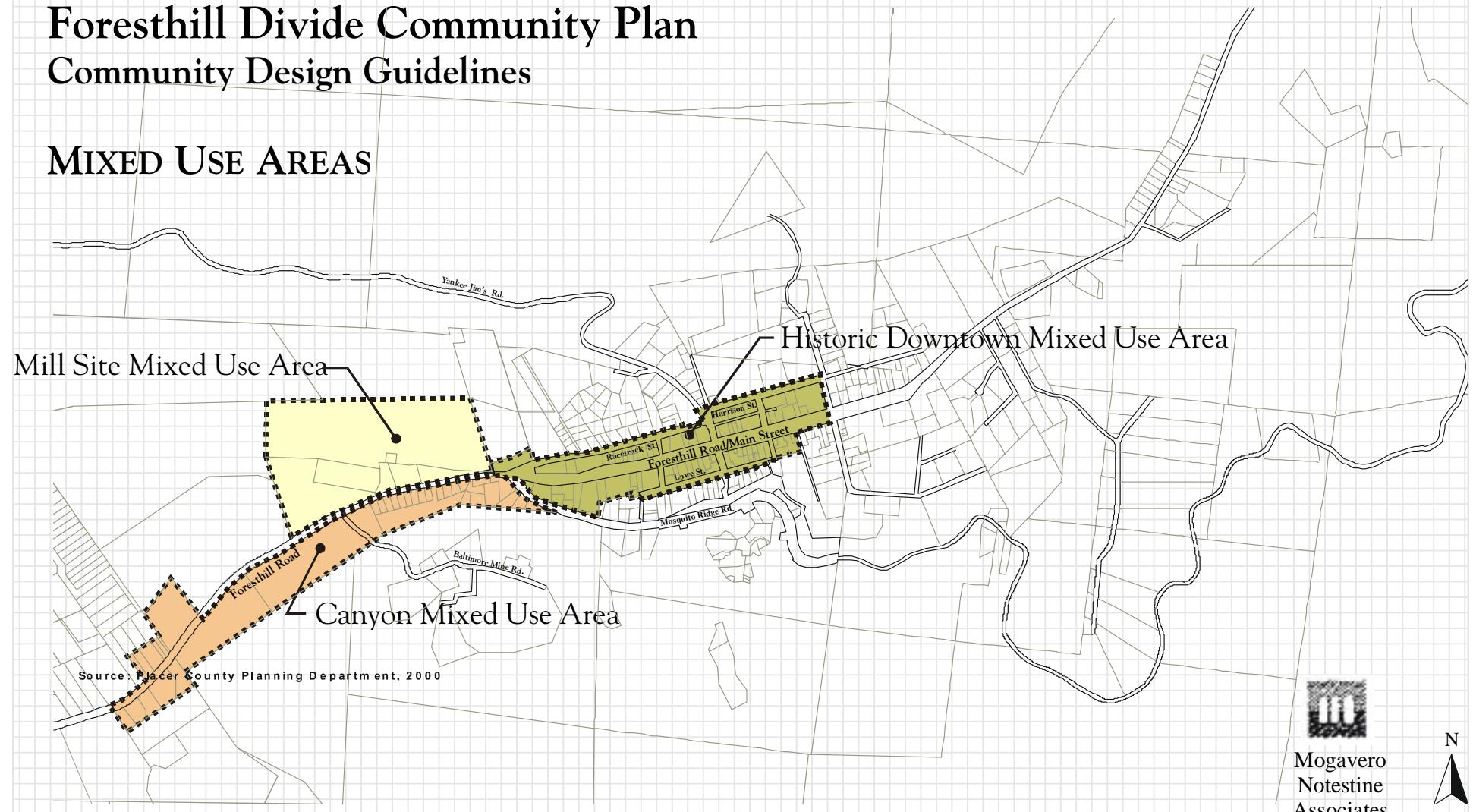
III. Historic Downtown Mixed Use Area

The Historic Downtown Foresthill Mixed-Use area consists of the townsite of Foresthill that was established in 1850. It includes all of the historic "downtown" commercial area along the main street (Foresthill Road and Main Street), as well as all of the land within the following described boundary: From the intersection of Foresthill Road, Mosquito Ridge Road and Racetrack Street easterly along Racetrack Street to Gold Street, then north along Gold Street to Harrison Street. The boundary continues easterly along Harrison Street to Church Street, then turns south across Foresthill Road to Main Street. At that point, the boundary runs westerly along the south side of Main Street to Franklin Alley, then south along Franklin Alley to the south property lines of the parcels that front on Main Street. The boundary turns westerly and follows the south property lines of the parcels that front on Main Street to the intersection of Soap and Lowe Streets. From there the boundary continues westerly along Lowe Street to its western terminus and along the south property lines of the parcels fronting on Main Street until it intersects Mosquito Ridge Road, at which point the boundary follows Mosquito Ridge Road back to its intersection with Foresthill Road at Racetrack Street.

Foresthill Divide Community Plan

Community Design Guidelines

MIXED USE AREAS



1. Theme and General Design Criteria



Preserve the historic structure



New development that respects the past



Creation of open space is important

The following criteria are applicable to all development and rehabilitation in the Historic Downtown Mixed Use Area:

- The preservation of historic and attractive buildings in the Historic Downtown Mixed Use Area is encouraged. New development is encouraged to enhance the character of the commercial district.
- Before the issuance of a demolition permit for any structures in the historic core area, the Foresthill Forum (aka Municipal Advisory Committee) shall review and comment on the proposed demolition.
- Existing and new development in the Historic Downtown Mixed Use Area is required to be designed to integrate open spaces where possible, especially taking advantage of any natural amenities such as heritage trees, hillsides, and scenic views.
- Design all new development to be compatible with the character of the area. Structures should be designed and located so that:
 - They fit the natural terrain,
 - They maintain the street edge (except freestanding single residential), and
 - They utilize building materials, colors, and textures that blend with the historic nature of the downtown.
- The size and scale of all new buildings should be conducive to maintaining the rural atmosphere of the Foresthill Area. The scale of non-residential buildings should reflect that of the immediate surroundings.
- Provide a pleasant environment as well as safety and shelter to pedestrians.
- Maintain the historic rural/mountain character of the Historic Downtown Mixed Use Area of Foresthill.
- New structures, built in the Historic Downtown Mixed Use Area of Foresthill should incorporate traditional elements and materials, such as large covered front porches, false fronts, tall narrow windows, solid wood or brick siding (or visual equivalent) into their design. Design elements such as window lines, roof heights, porch roofs, cornice widths, etc. from adjacent buildings should be carried over and reflected in the design of new structures in order to enhance the continuity and unity of the street.
- When remodeling existing structures in the Historic Downtown Mixed Use Area of Foresthill every effort shall be made to preserve and/or enhance the historic character of the structure.

- All new development located at entrances to the community should be designed to include elements such as signage, landscaping, and appropriate architectural detailing to help establish a distinct rustic identity for Foresthill.

IV. Mill Site Mixed Use Area

The Mill Site Mixed-Use Area is located immediately west of the Historic Downtown Mixed-Use Area along the north side of Foresthill Road. This mixed-use area consists of approximately 180 acres of land that was formerly occupied by the Georgia-Pacific lumber mill.

1. Theme and General Design Criteria

- The preservation of historic buildings in the Mill Site Mixed Use Area is encouraged, and encourage new development to enhance the character of the area.
- Before the issuance of a demolition permit for any structures in the Mill Site Mixed Use Area, the Foresthill Forum (aka Municipal Advisory Committee) shall review and comment on the proposed demolition.
- Existing and new Mill Site Mixed Use Area development is required be designed to integrate open spaces where possible, especially taking advantage of any natural amenities such as heritage trees, hillsides, and scenic views.
- Provide a pleasant environment as well as safety and shelter to pedestrians.
- All new development located at entrances to the community should be designed to include elements such as signage, landscaping, and appropriate architectural detailing to help establish a distinct rustic identity for Foresthill.



Existing historic structures should be preserved and new development should emulate the rustic identity of Foresthill.

V. Canyon Mixed Use Area

The Canyon Mixed-Use Area lies immediately south of the Mill Mixed-Use Area and immediately west of the Historic Downtown Mixed-Use Area. The borders of this Mixed-Use Area are described as follows: The boundaries of this Mixed-Use Area are described as follows: Beginning at the intersection of Foresthill Road, Racetrack Street and Mosquito Ridge Road, the boundary of the Mixed-Use Area extends westerly along Foresthill Road for approximately .8 mile to the westerly end of the old mill site (now owned by the Placer Union High School District and the Foresthill Elementary School District). At that point the boundary turns north along the eastern and northern property lines of the Canyon View Church (APN 007-043-087). From there, the boundary follows Timberland Drive south to the intersection



Rustic architecture is encouraged.



View preservation is critical.



Preservation and reuse of historic structures is encouraged.

of Winterhawk Way and follows the rear boundary of the properties that front on Foresthill Road in a westerly direction. The boundary then turns north along the eastern boundary of the parcel whereon “Laurie’s Restaurant” (Starlight Café - APN 007-043-024) is located. At the northern property line of that parcel, the boundary turns west for approximately 100’, then south for approximately 100’ before continuing westerly along the rear property line of the parcels that front on Foresthill Road for a distance of approximately 850’. The boundary line then turns south to Foresthill Road, east along Foresthill Road for approximately 450’ and south along the western property line of APN 007-044-015 for a distance of approximately 325’. At that point the boundary turns back east and follows the south boundaries of the parcels that have frontage on and/or access from Foresthill Road and Mosquito Ridge Road (APNs 007-060-001, -015, -023, -025, -026, -029, -030, -034, -035, -036 & -037) until it intersects the Mosquito Ridge Road right-of-way. The boundary turns back to the northwest at this point and follows Mosquito Ridge Road back to the intersection of Foresthill Road, Racetrack Street and Mosquito Ridge Road.

1. Theme and General Design Criteria

- The preservation of historic and attractive buildings in the Canyon Mixed Use Area is encouraged, and encourage new development to enhance the character of the commercial district.
- Before the issuance of a demolition permit for any structures in the Canyon Mixed Use Area, the Foresthill Forum (aka Municipal Advisory Committee) shall review and comment on the proposed demolition.
- Existing and new Canyon Mixed Use Area development is required be designed to integrate open spaces where possible, especially taking advantage of any natural amenities such as heritage trees, hillsides, and scenic views.
- The size and scale of all new buildings should be conducive to maintaining the rural atmosphere of the Foresthill Area. The architectural scale of non-residential buildings, as differentiated from size, should reflect that of the immediate surroundings.
- All new development located at entrances to the community should be designed to include elements such as signage, landscaping, and appropriate architectural detailing to help establish a distinct rustic identity for Foresthill.

VI. Design Character

1. Single Family Residential

Character

- Residential development should be designed so as to maintain and preserve the historic and rural forested character and natural resources of the Foresthill Divide.
- Designs should consider and reflect other pre 1950 residences in the community and respond to the Victorian, Craftsman, and Farmhouse vernacular found in the area.
- Garages and accessory buildings should be de-emphasized.



Victorian, craftsman and farmhouse vernacular should be emulated in new single family and multifamily housing.

Level of Detail

- All building sides visible from the street should be designed with a consistent level of detailing and quality of materials. The building form, roof shape, materials, color, openings, dimensions, rhythm, and other design elements should be considered part of a unified design theme. Garages, if detached, should be considered a part of the main building architecturally.

Articulation

- Functional and decorative articulations are recommended. These can include stoops, bays, porches, overhangs, fireplaces, trellises, etc.
- Front porches are encouraged on all units.
- In multi-lot single family developments architectural design diversity is encouraged. Facades, materials, and architectural details should be varied to create an impression that the homes have been individually built.

Presence

- In order to give houses a commanding presence and be reminiscent of historic design, the first floor of residences should be at a higher elevation than the adjoining finished grade. This can be accomplished with raised foundations.

Diversity

- To accommodate different income levels and household types, a variety of lot and unit sizes should be provided.

2. Multifamily

Character

- Variation of building styles produces healthy design diversity. Multi-family housing should relate to the existing styles in the neighborhood (Victorian, Craftsman, and Farm House) in scale, materials, and color. They need not copy or duplicate existing structures. Innovation and creativity are encouraged.

Compatibility

- New housing should be similar in height to adjacent buildings.
- Storage facilities require architectural treatment consistent with the buildings, using similar materials and design elements.

Articulation

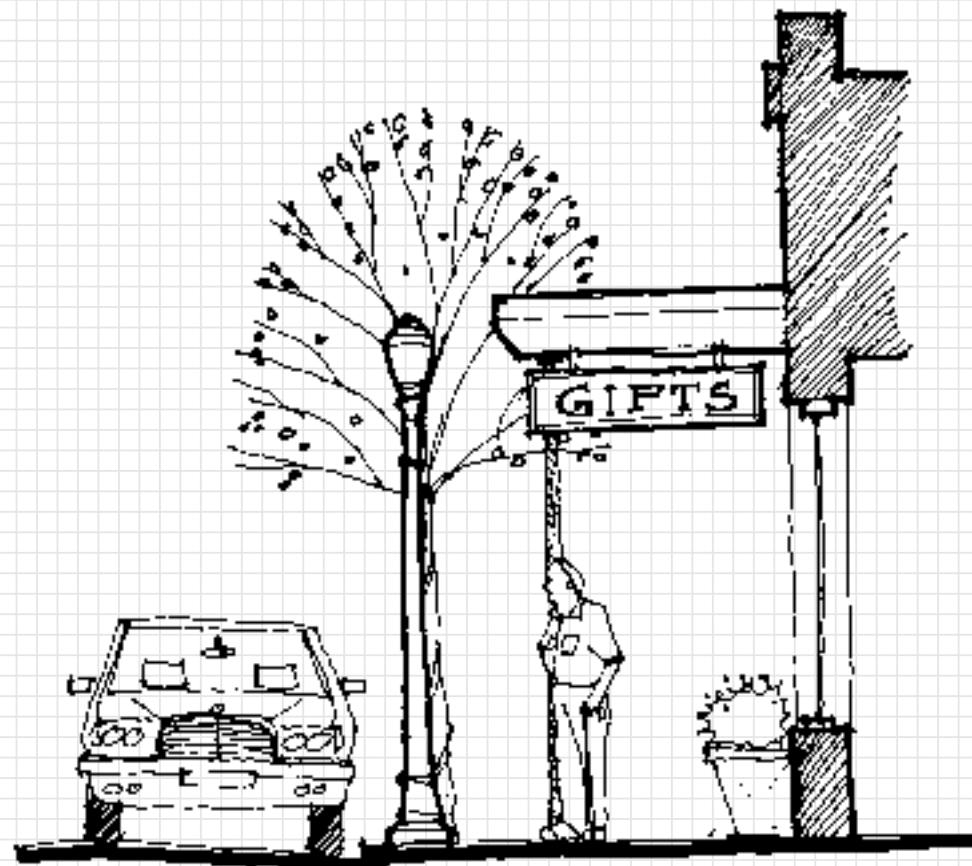
- Large, massive box like structures are to be avoided. Long, uninterrupted wall surfaces are strongly discouraged.
- Individual units should be suitably identified by staggered exterior walls, details, or other means.
- Multi-building projects should incorporate more than one form of architectural treatment consistent with the design concept to prevent monotonous repetition.

Resident Convenience

- Front porches are encouraged on all units.
- Provide weather protection for entry doors, a porch covering or canopy can provide a clear sense of entry, design interest and shade.
- Architectural detailing of entrances is encouraged, to make the entrance the dominant feature. Front porches, overhangs, arbors, or other elements are strongly encouraged.

Diversity

- To accommodate different income levels and household types, a variety of unit sizes should be provided.



3. Commercial

Historic Downtown Mixed Use Area

Preservation

- The original proportions of wall openings should be retained.
- Blocking of existing openings to accommodate standard sash, glass sizes or doors, to hide ceilings lowered beneath the tops of existing windows, or for other reasons in conflict with historic consistency is highly discouraged.

Storefront

- Historically, storefront glazing areas were as large as possible given the constraints of the technology of the times. New construction in the historic district should respond to the aesthetics that is a result of these historic construction traditions.

General Storefront Criteria

- ✓ *Signs should be primarily oriented to the pedestrians not those in automobiles.*
- ✓ *Replace 1960 - 70s era modernization elements with historically appropriate elements when making facade improvements.*
- ✓ *Discourage covering up existing windows. Historic transom windows no longer needed can still serve as architectural elements with translucent glass.*
- ✓ *Provide large display windows.*
- ✓ *Create a continuous storefront environment.*
- ✓ *Place buildings close to the street.*
- ✓ *New construction in the historic district must respond to the aesthetics that is a result of these historic construction traditions.*
- ✓ *Sills, when provided, should be 20 to 36 inches above the level of the adjacent sidewalk.*
- ✓ *Some historical prototype storefronts provide door like storefront windows extending to the ground plain.*
- ✓ *Recessed storefront entries and display areas shall be retained and renovated. Storefront entries shall be recessed.*
- ✓ *Design for new construction shall maintain the pattern of the street by incorporating recessed entry ways to shops and upper floor residences and businesses.*
- ✓ *Add landscape features such as street trees and planters.*

- The example set by the existing historic commercial buildings set the historical precedent. These buildings have large storefront windows to maximize visibility of display areas and provide interior light.
- Some historic building have windows that continue to the floor. If sills are provided they should be 20 to 36 inches above the level of the adjacent sidewalk.
- The historical prototype storefront provides door like storefront windows extending to the ground plane.
- Recessed storefront entries and display areas should be retained and renovated. Storefront entries should be recessed.
- Design for new construction should maintain the pattern of the street by incorporating recessed entry ways to shops and upper floor residences and businesses.

Windows

- Windows with small panes are not appropriate to buildings constructed in the late nineteenth and early twentieth centuries. Windows divided into many small panes of glass have "European" and "Colonial" style connotations and are not appropriate.
- In restoration, the original number of panes in glassed areas should be used.
- Irregular, polygonal, circular and trapezoidal shaped windows are not appropriate.

Entries

- Entries to upper floors in new buildings should access directly from the street frontage. These doorways should be integrated into the overall composition of the building facade and be compatible with the design of the storefront of which they are contributing elements. Doors with glazed panels are preferred.
- Emergency exit doors and side exit doors should be designed with high quality materials and screened with landscaping when not located on the street facade.

Walkway Covering

- Where they still exist, wooden coverings or canopies should be retained or should be replaced with new materials consistent with the original in design.
- Walkway covering should be incorporated into new development.

Height

- Maximum height to be three stories.
- New buildings should be a minimum of fifteen feet tall at the street.
- Standard contemporary floor to floor heights may need to be increased to avoid extreme contrast between new construction and existing older buildings. Sidewalk level commercial spaces should have a minimum ceiling height of ten feet from the floor.
- Arranging windows to give the illusion of greater floor to floor height is another way to blend a new building into the existing context.

Shape and Orientation

- The front and side walls of new construction should be parallel to the property lines.
- Odd and irregularly shaped polygonal and circular buildings are discouraged as they disrupt the continuity of the streetscape.

Mill Site and Canyon Mixed Use Sites

Character

- Designs consistent with "Gold Rush" Towns, Saw Mills, Farmhouses, Historic Barns or Mining Structures are encouraged.

Windows and Doors

- Irregular, polygonal, circular and trapezoidal shaped windows are not appropriate.
- Storefronts should have large expanses of display windows.
- Storefront entries should be recessed.
- Entries to upper floors in new buildings should be integrated into the overall composition of the building facade and be compatible with the design of the storefront of which they are contributing elements. Doors with glazed panels are preferred.
- Emergency exit doors and side exit doors should be designed with high quality materials and screened with landscaping when not located on the street facade.

Height

- Maximum height should not be more than two stories above the ridge line.

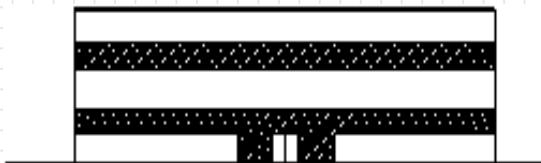
Compatibility

- The exposed building sides should be treated with equal importance.

3. Industrial

Character

- Design that remembers the historic forms and building of the former mill are encouraged.
- A design concept should be established for each project. All publicly visible building sides should be designed with a complementary level of detailing and quality of materials.
- Any accessory structures or projects incorporating more than one building, should be integrated into an overall design concept.



Articulation: Not This



This - Planar changes and punched windows



The use of imitation materials is discouraged.



The use of plywood panels without battens is inappropriate.

Articulation

- Detailing, through articulation (breaking up of the facade plane) is strongly encouraged. Buildings with lengthy, flat horizontal facades are permitted but some articulation of building elevations is strongly encouraged. Elements such as planar changes, height changes, etc. should be provided and linked to the surrounding development patterns if appropriate.
- Structures should generally have articulation at entries, bases and tops. The organization used should break up the overall mass into smaller elements.

VII. Materials

Material Choices

- Materials should be durable and of a low maintenance nature. The use of "Fake" materials such as synthetic stone and imitation brick is discouraged. Alternative materials may be used if justified by the applicant.
- For existing construction materials should be retained and restored. Existing unpainted nonporous materials should not be painted over (such as unpainted brick masonry or tile).
- For new construction, materials similar to the historic tradition are allowed. Granite veneer, brick veneers, corrugated metal siding or detailed and finished exterior cement plaster finishes are acceptable. Wood board and batten may be appropriate to the design of some buildings.
- Inappropriate materials include: Synthetic stone veneers, plywood panels (without a batten) and other residential finish materials, highly reflective surfaces such as opaque or reflective glass panels, and exposed concrete block. While the use of these materials is not prohibited, it is difficult to successfully incorporate these types of finishes into a quality design that will be appropriate to the streetscape.
- Brick, cedar shingles, or other natural materials are also preferred. In general two different materials should be used.
- New brick buildings should not be painted. Some older masonry buildings were constructed of brick that did not have a finished fired face and were therefore painted to create a durable maintainable surface. Modern brick manufacturing produces a durable finished surface that is best left unpainted.
- If previously painted, existing brick buildings should be repaired and properly repainted. Sand blasting is strongly discouraged.

- Stucco is an acceptable material, provided some detailing has been incorporated at doors, windows, vents, etc.
- The use of textured plywood is strongly discouraged. It tends to be difficult to maintain and may detract from the character of the streetscape.
- In residential projects horizontal siding is preferred over vertical siding.
- When composition roofing shingles are used, they should be the heavy laminated dimensional type, and be of at least 25 year quality.
- Wood shake or shingle roofing is acceptable if fireproofed.
- Corrugated metal roofing was common to the era and is an appropriate roofing material.

Colors

- Colors should be considered in context with the prevailing colors in the surrounding area. A minimum of 2 colors should be used in projects, with a third for accent or trim.
- Color combinations should be carefully chosen to avoid dramatic contrasts or clashes of inappropriate colors.
- Canopy colors should be carefully coordinated with the overall building facade design. Historic materials and designs are encouraged. Uniformity of awning or canopy colors throughout the area is discouraged, variety in awning design and color is encouraged.

Texture

- Varying textures of wall surfaces are encouraged. Monotone wall surfaces without texture or color differentiation are discouraged.
- Trim and moldings on windows are encouraged. Larger trim, such as 1x4's and 1x6's, are preferable to thin 1x2's.

Windows and Doors

- Decorative wood or metal lintels, brackets, and any other window or doorway trim should be preserved and restored where possible.
- Where they still exist, the original window framing materials; sills, lintels, frames, sash, muntins, and glass of windows and transoms should be preserved.
- Plastic materials, such as corrugated plastic panels, obscured glass panels or opaque glazing should not be used in place of clear glass unless they can be successfully integrated into the overall building design and the historic context.
- Glass in windows, doors, and transoms should be clear except where documentary evidence indicates colored glass was originally used. Dark-tinted or reflective glass is highly discouraged if visible from the street.
- Aluminum windows in stucco walls without trim or stucco molding are highly discouraged.
- Raw or anodized aluminum window frames are strongly discouraged.
- Older structures which were constructed with wood single framed windows should be rehabilitated with similar windows. Synthetic single framed windows are permitted if the style matches that of the original. Aluminum windows should not be used in these older structures.
- Unit entrance doors should have some character, through paneling, glass or other means.
- In general, doors are to be glazed to increase transparency. Wood frame commercial grade glazed doors may be acceptable.

- The original doorway elements, including sills, lintels, frames, and the doors, should also be retained. When they must be replaced, the replacements should duplicate the originals in design and materials. Doorways should comply with the Americans with disabilities act.

VIII. Site Planning



Place new commercial development in the Historic Downtown at the front property line oriented toward the street.

- The bulk of a industrial development should be oriented and massed toward the street with rear yards dedicated to service functions and facilities, storage, employee parking, etc.
- To reduce the prominence of residential garages, they should be set back from the front of the house a minimum of five (5) feet. Garage frontages (in linear feet) should not occupy more than 50% of the total frontage of the house.

Sound Walls

- Sound walls are highly discouraged.

Articulation

- Individual multifamily units should have slightly varied setbacks from the street.
- Streetfront elevations should be varied in mass, depth, wall elements, entrance doors, window treatment and roof forms.

Courtyards

- In order to maintain the continuity of the streetscape, the length of any commercial courtyard facing onto a street in the Historic Downtown should not exceed 40% of the length of the building's facade at that street.

Visibility

- Industrial buildings should be designed so as to place administrative or retail functions in a location where staff will have surveillance over the parking area and the public right of way.
- Individual entrances should have a clear and visible connection to the public street.

IX. Pedestrian Connections

Access

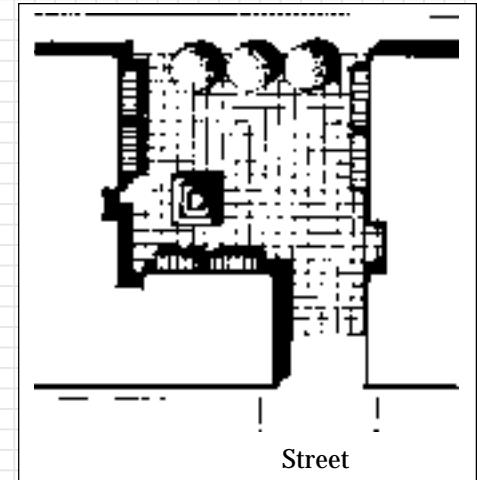
- Safe and convenient pedestrian connections should be provided to transit stops, neighborhood commercial/recreational/public facilities, and schools.
- Pedestrian access from the public right-of-way to individual houses should be separate from the driveway unless the lot is too narrow to accommodate a separate walkway.
- Pedestrian access from the public right-of-way to individual multifamily units should be separate from the driveway.
- New commercial development should be designed to encourage and facilitate pedestrian circulation within and between commercial sites and nearby residential areas rather than being designed primarily to serve vehicular circulation.
- Design commercial, industrial and residential site layouts with the intent of encouraging human interaction, protecting the Divide's natural resources and providing compatibility with the surrounding environment.

Materials

- Enhanced paving (scored concrete, colored concrete, brick, tile, etc.) is encouraged at main commercial doorways to create a sense of arrival. Materials should reflect the historical style and character of the adjacent streetscape as they serve to link these spaces and contribute to the continuity of the area's fabric.

Specific Locations

- Building should be built along the Foresthill Road/Main Street right-of-way as long as allowances are made for pedestrian circulation. The setbacks should reflect the character of the block or of the adjacent buildings on the block.



Openings for courtyards should not exceed 40% of the buildings street frontage.



Walkways are needed on the Foresthill Road and the south side of Main Street within the Historic Downtown area of Foresthill.

- A walkway should be constructed along the north side of Foresthill Road and the south side of Main Street within the Historic Downtown area of Foresthill. This walkway should connect to and be the same width as the surviving portions of the historic boardwalk (in front of the Odd Fellows Building and the Foresthill Lodge). The walkway should be constructed of a durable material such as brick or stamped concrete.
- The streetscape plan that has been developed for downtown should guide new development and enhancement efforts within the area.
- The Historic Downtown area should be a "pedestrian friendly" zone. Projects along Foresthill Road, Main Street and Soap Street should provide space for a five-foot pedestrian connection on properties adjacent to roadways for pedestrians. This should be such that it connects to the path on adjacent properties to provide a continuous route.
- A separated pathway should be constructed along the south side of Foresthill Road connecting the Canyon and the Historic Downtown area of Foresthill. This pathway should be of sufficient width to accommodate multiple uses (generally a six foot minimum width). The paths width and materials should be consistent from project to project.

X. Views

Orientation

- Structures in the Mill Site and Canyon areas should be oriented so that the longest dimensions are not in full sight of the public view.
- Structures should be angled rather than positioned flush with the street line to avoid a wall effect.



All new development shall be designed so that view sheds are protected.

Building Locations

- Structures should be situated in areas of shallow slope.
- Structures should be situated mid-slope or at the base of slopes rather than at the top of slopes.
- Where multiple structures in the Mill Site and Canyon areas are to be located on a site, buildings should be grouped in non-view areas or scattered throughout the site or around an open space green area to avoid a wall effect.
- Setbacks should be varied in the Mill Site and Canyon areas.
- Large rectangular building configurations should be avoided.

Height

- Low rise structures are not as visually dominant as multistory structures and are to be encouraged. No structure over two stories should be permitted unless addition floors are concealed below the ridge line.

Vegetation

- Development is to be integrated with existing vegetation wherever possible.
- Keeping existing trees and other shrubbery on site is highly desirable. To retain the natural characteristics of a property, care during site preparation and construction is essential, unnecessary tree removal is to be avoided and land form alterations should be minimized wherever possible.
- Trees, shrubs and hedges should be planted and maintained so as to avoid obstruction of views. Existing vegetation should be maintained so as to avoid obstruction of a protected view.
- Where vegetation is too thick, views can be opened up through selective cutting rather than wholesale removal of existing vegetation.

XI. Landscaping

Multifamily

- Landscaping is required for single and multifamily projects, including street trees, shrubs, lawns, irrigation and other suitable improvements. New large canopy shade trees (minimum. 15 gal.) should be provided.
- In multifamily projects open spaces possibly consisting of play grounds, picnic areas, tot lots and pools are strongly encouraged.

Preservation

- All existing mature, healthy trees should be protected and maintained wherever possible.

Fencing

- Variations in character of fencing is strongly encouraged. Options include introducing "open" lattices at key views or continuously along the top of a fence, introducing trellises, and decorative gates. Fencing should respect the historic character in the Downtown area.

Downtown

- Driveways, small plazas, courtyards, and pedestrian corridors within each block of the Historic Downtown Mixed Use area should be landscaped as extensively as possible, incorporating trees, shrubs and ground-covers. County landscape set backs do not apply in the Historic Downtown Mixed Use area.

Hardscape

- When possible, sidewalk pavement and driveways should have varied surfaces, including stamped concrete, brick, paving stones, or block. Long, uninterrupted broom finished concrete or asphalt concrete should be avoided on street fronts.

Plant Materials



Canopy trees create outdoor rooms.

- Extensive use of turf and non drought tolerant plants should be avoided in commercial areas.
- Accent planting beds with flowering annuals are encouraged. Annual color in planters and pots in public areas are to be properly maintained. It is recommended that annual color be replaced at least three (3) times per year.
- Canopy trees should be used in the public areas to create "outdoor rooms" and to define spaces.
- Accent evergreen and flowering accent trees should be incorporated in appropriate commercial and industrial locations to highlight positive features and to add visual interest to the landscape.
- Plant material selections and locations should demonstrate consideration of varying site and soil conditions, solar orientations and relationships to buildings and view sheds.

Parking Areas



Parking areas should be heavily landscaped and yet allow for snow removal.

- Parking should meet a 50 percent shading requirement by providing tree shading (calculated at tree maturity) or for residential projects a combination of carports and tree shading.
- Parking lots should be designed with ample planter pockets as required to incorporate shade trees and shrubs.
- Parking areas should contain at least two varieties of trees, with at least one type being a large, high branching canopy tree to provide shade.
- Accent or delineation trees should also be provided to act as guides to circulation patterns and to highlight entries. Accent trees should complement the selected shade trees and should provide visual interest in form and/or flower.
- Shrubs should be clustered in masses or large groupings and should be located as not to interfere with vehicular or pedestrian sight lines.

Site Furnishings

- Site furnishings and pedestrian amenities such as benches, tables, drinking fountains, etc. at the street frontages as well as within plazas, courtyards and at rear buildings entries are encouraged.
- Site furnishings should reflect the style and character of the building and its site.
- Historic reproductions and period pieces are encouraged and should represent the appropriate era, and be of an appropriate scale, quality and durability for a public space.
- Usage of the public sidewalk space for furnishings and amenities such as outdoor eating areas is encouraged.



The provision of street furniture such as benches help to create a pedestrian friendly environment.

Screening

- Where large expanses of blank wall or fencing are unavoidably exposed, they should be screened with upright shrubs and trellised vines. Trellage is to be constructed of substantial, durable materials. Typical Redwood lath trellis is unacceptable.
- Trash enclosures, loading, storage and service areas as well as site equipment such as transformers and irrigation equipment should be screened from view from adjacent properties, public streets and building entries.

Irrigation

- In multifamily, commercial and industrial developments all landscaped areas should be irrigated with an automatically controlled, underground irrigation system.
- Irrigation systems should be valved separately considering site variables such as slope, solar orientation, and soil conditions, as well as the particular water requirements of selected plant species.
- Back-flow prevention devices should be installed in conformance with all applicable codes and ordinances and should be located as not to pose any danger to public safety.
- Back-flow prevention devices should be screened so as not to be visible from the adjacent street or walkways through the use of plant materials or decorative screens which reflect the style and character of the architecture. Plant materials and screens should not block views for motorists or pedestrians.
- The irrigation system should be designed to minimize over-spray onto buildings, walks, or other paved areas. Sprinklers in high pedestrian or vehicular traffic areas should be "pop-up" models only, and will be invisible when not in use.

Retention

- Stormwater retention areas should be designed to not require fenced enclosures and should be integrated into site design as a visual amenity. They should be completely landscaped. Slope should not exceed 1:6.

XII. Roofs

Slope

- Roof slopes should reflect the style of the building.
- Roof slopes less than 5 in 12 pitch are discouraged unless an integral part of the design. Overhangs larger than two feet would then be recommended.

Materials

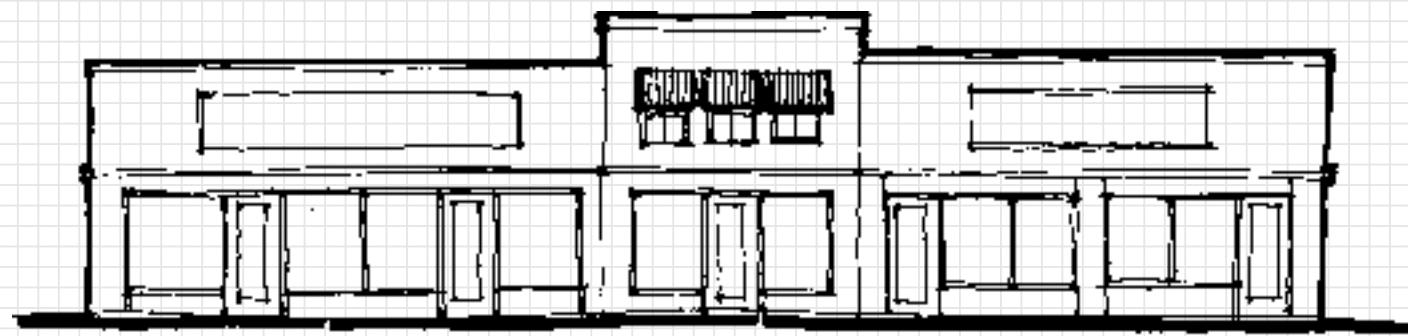
- When composition shingles are used, they should be the heavy laminated dimensional type, and be of at least 25 year quality.
- Wood shake or shingle roofing is acceptable if fireproofed.
- Corrugated and contemporary roofing materials are acceptable. Where roofs are visible, roofing materials should be dark or neutral tones.

Shape

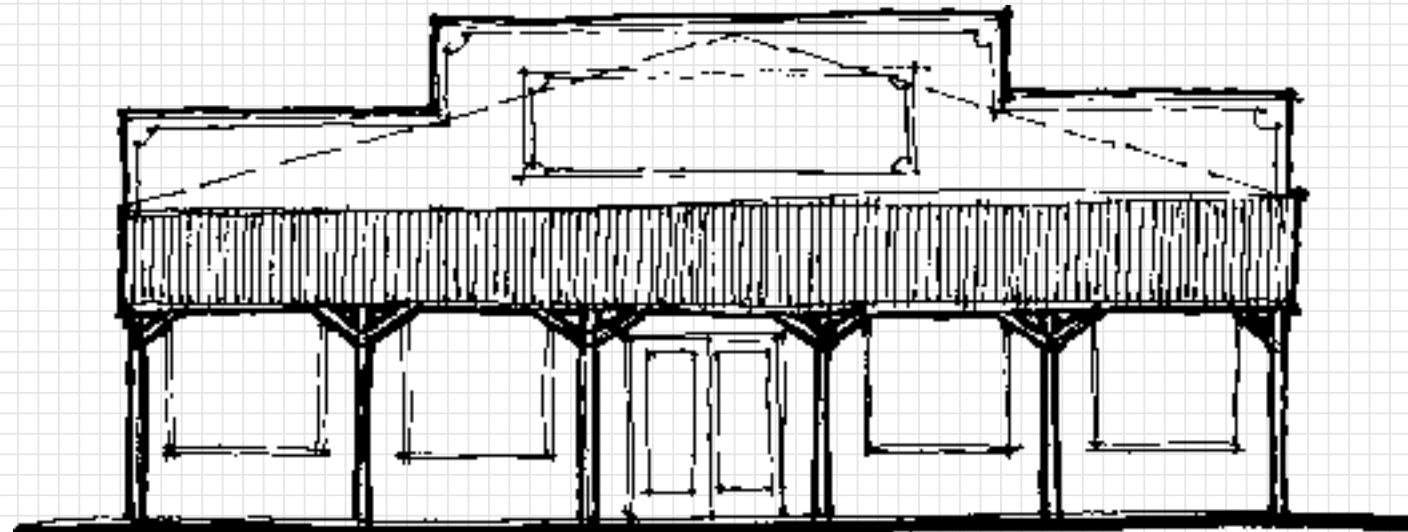
- Roofs retaining their original shapes should be maintained. In some cases where roof shapes have been altered, restoration to original appearance may be possible and is encouraged.
- Pseudo-mansard roofs applied to storefronts are incongruous with the historic character and are highly discouraged.
- In any new construction, the immediate frame of reference will be the buildings adjacent to the property being developed.
- Variable roof forms with vertical elements and articulated massing should be incorporated into the building design. Long, uninterrupted horizontal lines of parapet, unless they are integral to a building design are discouraged. Generally it is preferred to break the parapet line up by vertical or horizontal off-sets or changing of roof forms.

Details

- In the Historic Downtown Mixed Use Area new construction details should approximate the character of historic details found in the historic area.
- The shape, color, and texture of the roof should be coordinated with the treatment of the building exterior walls.



Flat articulated roof lines with small cornices are appropriate for the Historic Downtown



as are sloped roofs and sloped roofs with parapets

XIII. Parking

Location

- Parking directly against buildings is strongly discouraged. Landscaping or walkways should be provided between buildings and paved parking areas.
- Front yard areas should be landscaped in a manner which prohibits vehicular parking.
- On site parking should be located to the side or rear of new development.
- On site parking areas located between the street right-of-ways and the front of the building should be discouraged so that new development will be consistent with existing development.
- Surface parking lots should not occupy more than fifty (50) percent of the lot's primary street frontages.
- Surface parking lots should not occupy the lot's primary street frontages in the Historic Downtown area.
- On street parking directly in front of the project property will be counted towards the project's parking requirements.
- Vehicle entrances should be located away from the adjacent residential or commercial use.
- Parking in the Historic Downtown area is encouraged to be consolidated in well-designed and landscaped public parking lots.
- Most of the parking will be located in lots behind the buildings in the Historic Downtown Mixed Use Area. People who arrive here to shop or to work will approach the backs of buildings for access. It is therefore important to develop the backs of buildings as an attractive area for pedestrian access to the main streets.

Multifamily

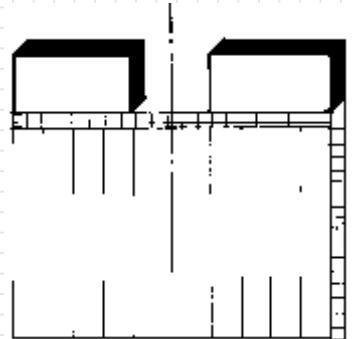
- Long runs of parking places are discouraged, no matter how they are covered.
- Flat aluminum carport structures are strongly discouraged, particularly in long uninterrupted runs.
- Carport roofs should reflect the design of the buildings, and materials and colors should be compatible.
- Pitched roofs for carports are strongly encouraged.
- Landscaping is required to mitigate the strong effect of carports.

Visibility

- New commercial development should be designed to minimize the visual impact of parking areas on public roadways.
- Where parking is developed in rear lots, secondary rear building entries are encouraged. Landscaping, awnings, lighting, signs and paving are elements that should be used to develop an attractive rear facade.
- Required pedestrian routes through parking area should, when and if feasible, be separated from drive aisles by hard (90%) curbs, landscaping, and/or parked cars. If not feasible there should be pavement treatments across vehicle aisles so as to provide a clear distinction between the drive aisle and the pedestrian way.

Pedestrians

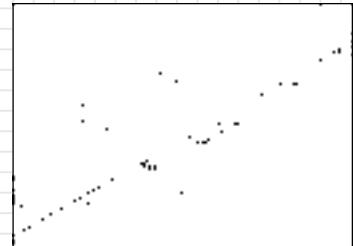
- Parking lots should include bulb-outs between stalls at building entrances.
- If the set-back is similar to the set-back of a neighbor and side-to-side pedestrian/visitor automobile circulation is viable, then these connections should be developed or improved as appropriate.
- Pedestrian routes are required through parking area and should, when and if feasible, be separated from drive aisles by hard (90%) curbs, landscaping, and/or parked cars. If not feasible there should be pavement treatments across vehicle aisles so as to provide a clear distinction between the drive aisle and the pedestrian way.
- In the Canyon area parking is encouraged to be consolidated in well-designed landscaped parking lots. A 10-foot or wider landscape strip should be established along access roadways in this area and a pedestrian/circulation plan developed to increase accessibility between the use sites in the area. This plan should include a consideration of interconnected parking lots and trails.



Provide side-to-side pedestrian / visitor automobile circulation where feasible

Scale

- Parking areas should be heavily landscaped and divided into small modules.
- New and existing businesses should provide adequate parking for the patrons of their facilities in compliance with the Foresthill Mixed-Use Development Standards. The visual impact of parking lots should be considered during design review.
- New commercial development to be designed to minimize the visual impact of parking areas on public roadways.



Provide pedestrian walkways through parking areas

Visibility

- Wherever feasible parking should be located below the ridge line.
- New development in the Canyon Mixed Use Area should be designed so that no contiguous parking lot is created along the Foresthill Road frontage. Parking along the sides or to the rear of new development in this area and the utilization of shared driveways between uses in this area should be encouraged.



Parking areas should be heavily landscaped and divided into small modules.

XIV. Utilities and Lighting

Screening



Roof top antennas and other equipment should be screened from view.

- Mechanical equipment should be screened, incorporated into the building design, or placed on the ground (within the fenced area). Screening devices should incorporate building materials complementary to the building.
- Antennas and receiving and sending dishes should either be incorporated into the architectural design, in such a way that they become an integral part of the architectural statement, or concealed from view.
- Roof mounted equipment should be screened from view and incorporated into the roof scape design. When roof mounted equipment will be visible from the surrounding properties at grade, the location and screening design should be particularly and carefully handled.
- Solid screening of permitted outdoor storage areas should be installed. Chainlink with or without slats is highly discouraged.
- Overhead utility lines in the historic core area should be consolidated, relocated and/or undergrounded. The County should work with the applicable utilities to identify and obtain funds to implement this objective.

- Whenever possible, new or replacement power hook-ups should be brought to the rear of the structure instead of the front.
- Through-wall ventilation louvers or other functional openings should be integrated into the pattern of the facade by size, alignment, texture, etc.

Trash Enclosures

- Trash and recycle enclosures should be conveniently located for users and disposal trucks but away from high use areas and should incorporate building materials that are complementary to the building design. Hose bibs and area drains should be considered for regular maintenance.

Compatibility and Access

- Other on-site storage should be secure from theft and located away from high use areas.
- Utility meters, cable equipment, and telephone entry boxes should be located away from high use areas. Such facilities must be reasonably accessible to the utility company.
- Service, storage, trash, and loading functions should not interfere with the quiet use and enjoyment of adjacent residential or commercial properties.

- Service access should be located in a position so as to not obstruct the flow of pedestrians or user circulation when in use. Blocking of service access by vehicles while loading and unloading should be considered.
- All utilities should be kept clear of walks, drives and alleys.
- Exhaust fans should not be located so as to vent directly into high use areas.

Solar

- Solar heating and photovoltaic units are encouraged and should be carefully incorporated into the design by mounting on south facing slopes or other means.

Night Lighting

- Dark skies are an important element of the Community Plan. Night lighting, visible from the exterior of a building and the project's boundaries should be limited to that necessary for security, safety, and identification. Night lighting should also be directed down and screened from adjacent residential areas and not be directed in an upward manner or beyond the boundaries of the parcel on which the building is located.

Lighting Locations

- Under canopy and entry lighting should be placed to illuminate the pedestrian walkway which may be shaded from street lights. These fixtures may be recessed down lights or pendant fixtures set in the soffit or other wall mounted shaded fixtures.
- Building entrances should be accentuated by brighter lighting. The building street number should be illuminated by the entry lighting.
- All exterior lighting should be shielded or indirect fixtures, down-lights in soffits or overhangs, or shaded fixtures that provide downward directed lighting.
- Exposed bulb fixtures in decorative fixtures such as goose lights may be used but should have a 25 watt maximum lamp. External flood lighting must be arranged so that the light sources are screened from view.

Lighting Design

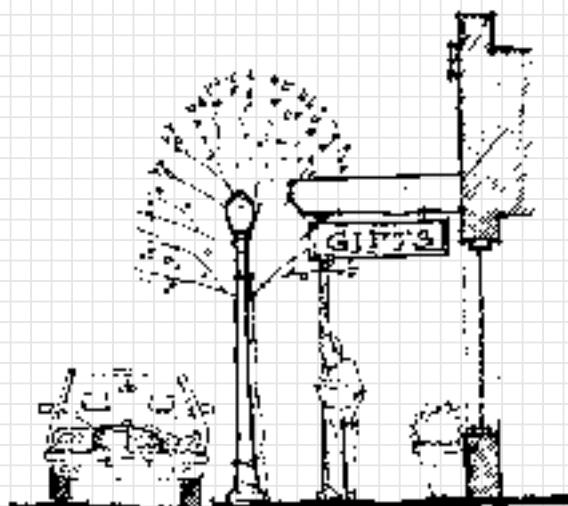
- Light fixtures that imitate designs from historical eras that are inappropriate, i.e.. "Wild West" are highly discouraged.
- Fixtures that are residential in scale and quality may not be appropriate in the commercial area.
- Fixture designs appropriate to the years during which the buildings in the historic district were constructed, as well as simple contemporary fixtures, are encouraged.
- Lighting should be designed to complement the architecture of the building.
- Lighting fixtures mounted on the building as well as remote from the building should be compatible to the building color, materials, and design.

XV. Signs

Illumination

- No internally illuminated signs should be permitted within the plan area. All signs should be externally illuminated and otherwise consistent with the applicable design guidelines, if any.
- Externally lighted signs are allowed with appropriate light fixtures that compliment the sign style and building design.
- Sign lighting should be subdued and indirect and not create excessive glare.
- Flood lamps, if used to illuminate sign surfaces, should be concealed.
- Under canopy signs should be illuminated with concealed fixtures.
- Illumination levels should be just adequate to serve the intended purpose. Lighting must be indirect. Exposed flood lamps are highly discouraged.

Awnings and Canopies



Appropriately scaled lighting and under-canopy signage add to the pedestrian experience.

- A business name or logo and address number applied to an awning valance or canopy fascia is allowed. Lettering style should be appropriate to the building design and era of construction.
- Lettering may be painted or applied to fabric awnings.
- A business name or logo may be applied to a small size sign attached to the underside of a canopy or awning over the sidewalk space. These signs are to be small and pedestrian oriented. Maximum size to be eight inches high by twenty-four inches long (8" x 24"). Minimum clearance below sign to top of sidewalk to be seven feet six inches (7'-6").
- Awning and canopy signs should be 12" maximum height for letters and identification emblem, insignia, logo, or graphic or similar feature and should not exceed 25% of surface.
- One above canopy or above front openings (entry door and display windows) sign (roof mounted signs are highly discouraged) is allowed and is limited to a maximum coverage of 10% of the total surface area located above the canopy.
- Materials may be wood, metal, or other historically appropriate combinations of materials.

Content

- The wording of signs should be limited to the occupant's names and/or company logo. The sign should not include advertising slogans, or services rendered. Words describing the type of commercial use, (i.e., meat market, barber shop, plumbing and electrical supplies, etc.) are permitted. Discouraged elements include the following: 1. Phone numbers or words describing products sold,

prices, or other types of advertising except as part of the occupant's trade name or logo. 2. Window signs of any type except those identifying a business. 3. Flashing, moving, or audible signs. 4. Information Signs.

- A business name or logo and address number may be permanently applied or lettered directly onto window glass or glass in doors or may be a sign placed in the window. Sign materials and lettering style must be appropriate to the historic context. Painted lettering or wooden signs may be acceptable.
- Graphic imagery, i.e. logos, lettering style, colors, product illustrations or cartoons etc. should be compatible with the period in which the building was built. Simple contemporary graphic styles may also be appropriate as well as period revival styles of text.
- Simple graphic imagery and minimal text is encouraged.

Size

- The aggregate of all window signage is limited to a maximum coverage of 25% of the total storefront window display area.
- Directories and parking lot entrance signs should not exceed 4 feet height and may be illuminated by landscape lighting.
- All signs should relate proportionately in the placement and size to other building elements.
- All text should be uniform in style and width, level, and true with the outside edge of trim.
- Monument signs should not exceed five feet (5') in height
- Letters and logos or insignias mounted directly to the building face should have a maximum height of twenty four inches (24").
- Each occupant can place upon each entrance to its premise, these should not be more than 144 square inches of lettering or decal application, and should not exceed two inches in height, indicating hours of business, emergency telephone number, and proprietorship.

Painted on Buildings

- Graphics may be painted directly on the building surface when the wall surface has already been painted and is presently painted in a uniform image.
- These elements are allowed but must be given careful consideration. Their incorporation on a building facade should be consistent with the historic character of the district.

Sign Programs

- All multi-tenant projects should develop a planned sign program that defines guidelines for future tenants.

Details

- All attached signs should be framed and trimmed with compatible materials.
- Exposed conduit, tubing, or raceways are highly discouraged. All conductors, transformers, and other equipment should be concealed.
- All mounting hardware should be concealed. All signs, fasteners, bolts, and clips should be of hot dipped galvanized iron, stainless steel, aluminum, and black iron of any type is highly discouraged.

- All sign color should be harmonious, and contrasting with colors of the building. One or more major body color with one type color should be included for each sign. A color scheme should be identified on the sign permit application.

XVI. Crime Prevention through Design

The following criteria are applicable to all Mixed Use Areas:

- New housing projects should promote "eyes on the street" where windows facing the street are high activity areas like kitchens, living rooms, and porches.
- Create visibility to and from circulation areas in larger complexes and commercial spaces. Interior corridors should be visible from the street or interior courtyard. Locate stairways adjacent to common facilities where they are visible and encourage frequent use.
- The first floor of a commercial building fronting or siding on a street should have a minimum of 30 percent of its length in windows. Window sills in storefronts should not be higher than 36" above the sidewalk.
- Security grills or rolling shutters over doors or windows are discouraged, except in industrial areas.
- Visibility is critical in creating a safe environment. The landscape should be designed with safety in mind. Landscape planting should minimize potential for creating areas which may facilitate criminal activity, such as areas with poor visibility or potential for ambush or hiding.
- A clear definition of space will ensure that residents and visitors understand when and where they transition from public to private space. For example: the street and sidewalk are very public spaces, the porch fronting the street a semi-private space.
- Define public/private spaces utilizing shrubbery, fences or signs to clearly delineate a transition between spaces.
- In commercial or multi-family projects, use landscape forms, such as hedges, trellises, fountains, and arbors to create public spaces that present the project to the community and clearly define public and private spaces.
- Access to public space should be clearly delineated and access to private space should be controlled with fencing, elevation changes, and secure measures.
- Use trees with high canopies and low shrub materials to allow visibility throughout the property.
- Fences used to control access to the interior of the site should be located between the buildings as much as possible, rather than running continuously at the front of the property.
- Avoid the creation of outdoor spaces that are inappropriately scaled for their use or that do not have a clearly defined use.
- The use of low fences and shrubs to encourage natural surveillance should clearly delineate private and public spaces. Natural surveillance also expands territorial concern beyond the front or back yard and into the street or alley. The extended concern for the activities in the open/public areas provides the neighborhood with the "eyes on the street" that are necessary to ensure safety of all residents.
- In order to encourage neighborhood interaction, fences in the front yard should not exceed 3.0 feet and should be at least 50 percent transparent. Wrought / ornamental iron fences are preferred over chain-link.

- Foundation plants should be installed that are less than 24" in height when mature, relative to the height of the finish floor.
- Provide natural barriers like shrubs, trees, arbors, or low hedges between conflicting activities (but don't reduce surveillance options).
- Change unsafe areas into safe areas by relocating high surveillance safe activities to the unsafe place.
- Consider uses of the space, when people will be present, overlapping activities, and the relationships of time, use, and behavior.
- Create opportunities for space to be included in a greater field of activity.

XVII. Historic Preservation

The following criteria are applicable to all Mixed Use Areas, Baker Ranch and The Monte Verde Inn:

- All existing buildings should not be made to look either younger or older than when they were built.
- If old and new design and/or materials are mixed, the original character or design of the building should be retained.
- As many original exterior materials should be retained as is economically and/or functionally feasible.
- Imitation materials or design elements for exterior walls should be avoided whenever possible. Synthetic materials may be used discreetly for maintenance purposes only. Types of material that should be avoided are asphalt and asbestos shingles or siding, aluminum siding, aluminum windows and doors and aluminum awnings.
- The roof should be a neutral-toned material. Roofing is generally not considered to be part of the color scheme of the building except when it constitutes a major visual aspect of the structure.
- Windows should be replaced only if rehabilitation of existing material is not functionally feasible. New windows should generally be of the same size, material, and type as the old ones. Metal awnings, metal sash windows, non-functional decorative shutters, unless architecturally accurate, and other modern types of window treatment should be avoided.
- Original doors should be retained. The size and/or location of doorways should not be changed or relocated except for restoration to original condition. Door treatment not in keeping with the original architectural style, and aluminum screens should be avoided. In all cases the original arrangement and proportion



Baker Ranch and The Monte Verde Inn as well as other historic structures are subject to these Historic Preservation criteria.

- of doors and windows should be retained.
- Front porches, entrance porticos and exterior stairways, which were part of the original design, should not be removed. Alterations and indiscriminate changes usually destroy the original design integrity and visual balance of a building facade. Original materials should be retained or architecturally accurate replacements should be used in repairing or reconstructing porch posts and railings. Updating wooden porches with wrought iron or brick generally destroys visual harmony and should be avoided. If porches are enclosed, it can be done harmoniously if the original shapes and sizes of the openings are respected.
- For an effective color scheme, use of more than five colors should be avoided. Walls should utilize one major color with two or three colors used in the trim. Wall colors should be in harmony with the streetscape. Bright colors should be used sparingly, for accent, if at all.
- A building should relate positively to its visual environment. A facade should harmonize with the neighboring buildings. Major elements of design should unify a building with its surroundings.
- Planting, paving, fences, and other features of the grounds of the building should blend with the surrounding environment. Existing landscape elements should be utilized, including types of trees, hedges, and fences; their interpretation can identify and unify an area and enhance the historic structure by providing an appropriate setting.

Specific Alterations of the Historic Structures

Exterior alteration of structures should substantially conform to the following standards:

- Historic structures should respect the height and scale of neighboring buildings, particularly the adjacent structures, to maintain a street's unity. An added upper floor which raises the height of a structure above that of its neighbors is highly discouraged. This may be permitted, however, if the addition is set back from the front facade of the structure so that it is not noticeable from the street. Structures may be raised (lifted) if appropriate to the building proportions and the surrounding neighborhood.
- Uniform spaces between buildings lends a rhythm and harmony to the streetscape when viewed in sequence. A side addition to a listed structure which changes the rhythm of a row of buildings are highly discouraged.
- Renovations to a historic structure should utilize existing dominant materials and textures within the area and the original design character of the structure. For example, a brick stairway should not be constructed within a row of wooden entrance stairs unless appropriate to the architectural style of the historic structure.
- Although no specific color palette is required, exterior colors used on a structure will be subject to design review, in order to assure that colors used contrast or blend harmoniously with neighboring structures. Extremely bright colors should be avoided, particularly when used as the primary color of the walls.
- If windows and doors are redone or altered, the existing proportion of the area of the openings to the area of the walls should be retained.